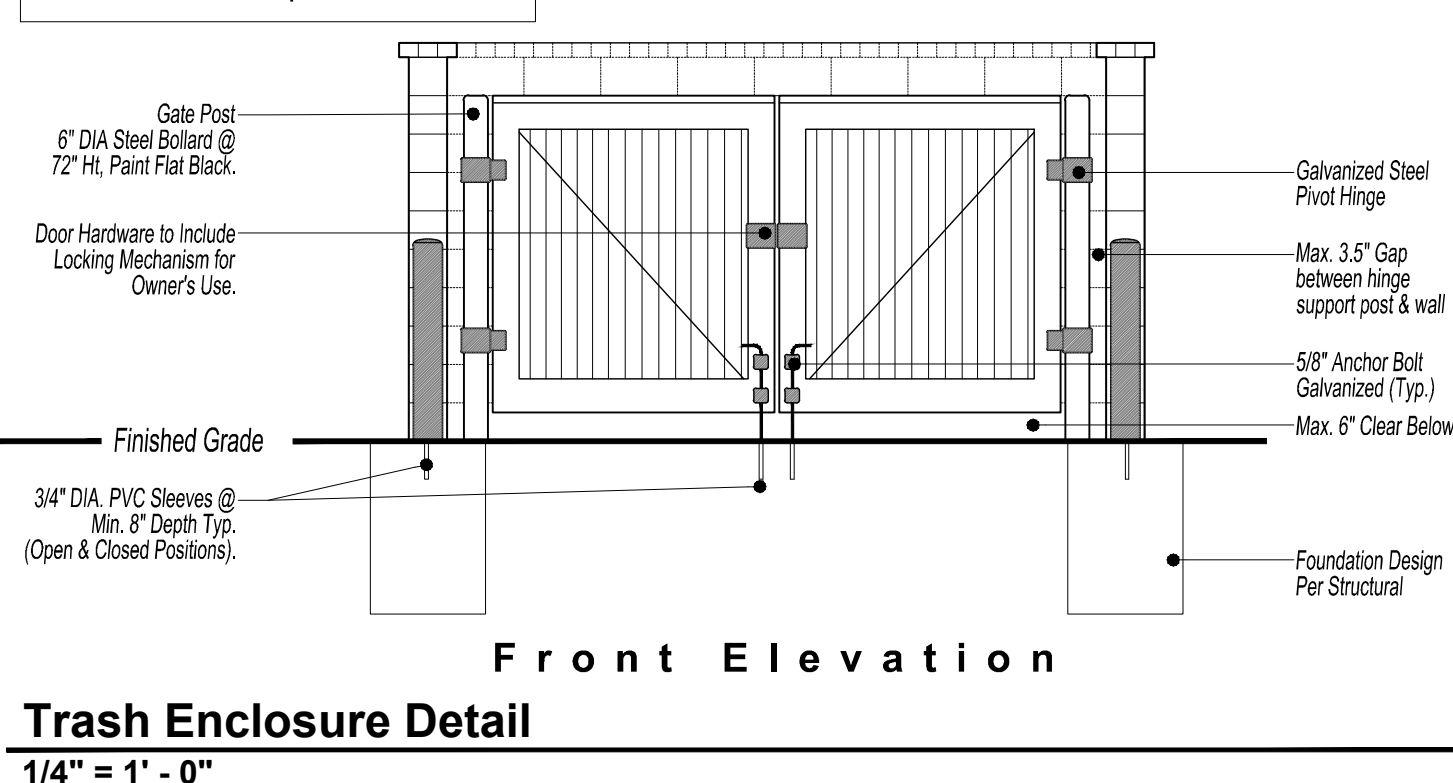
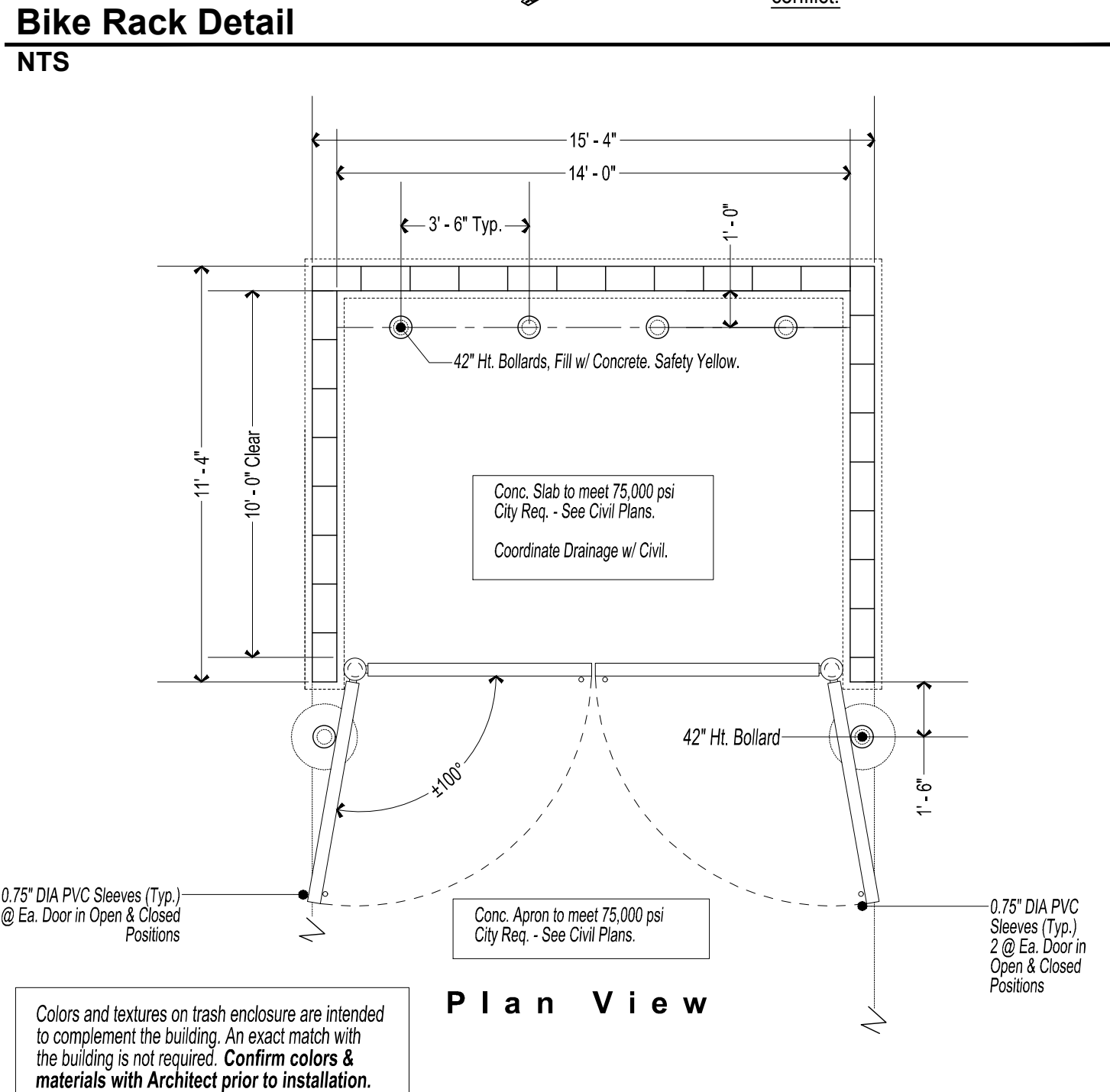
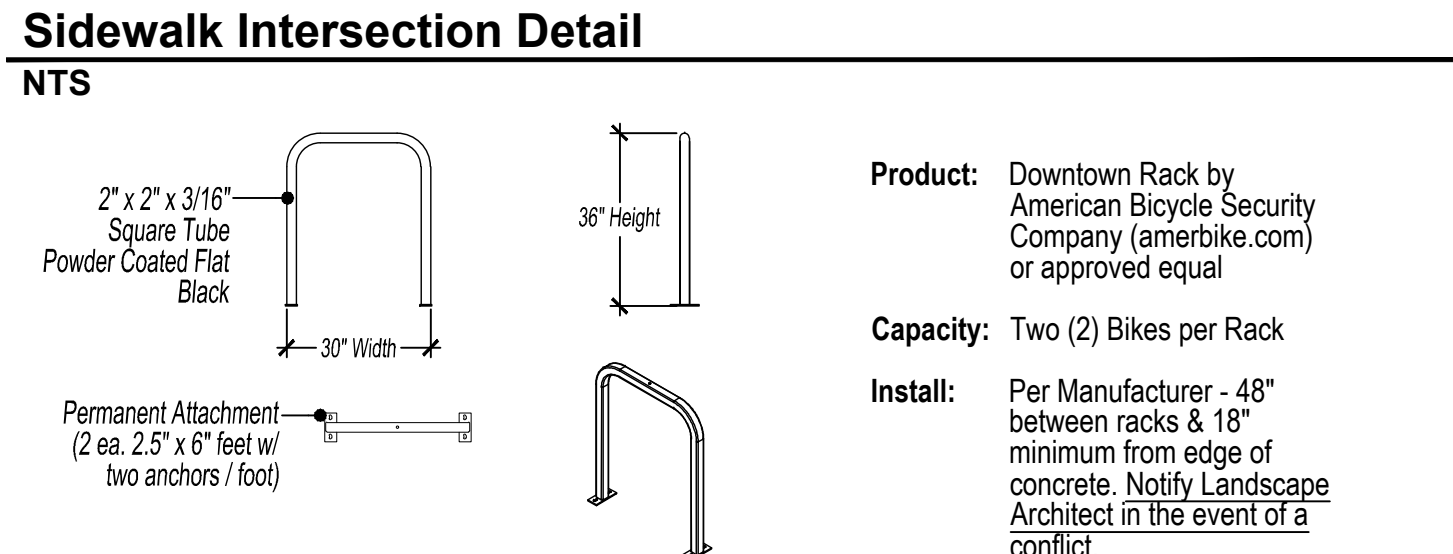
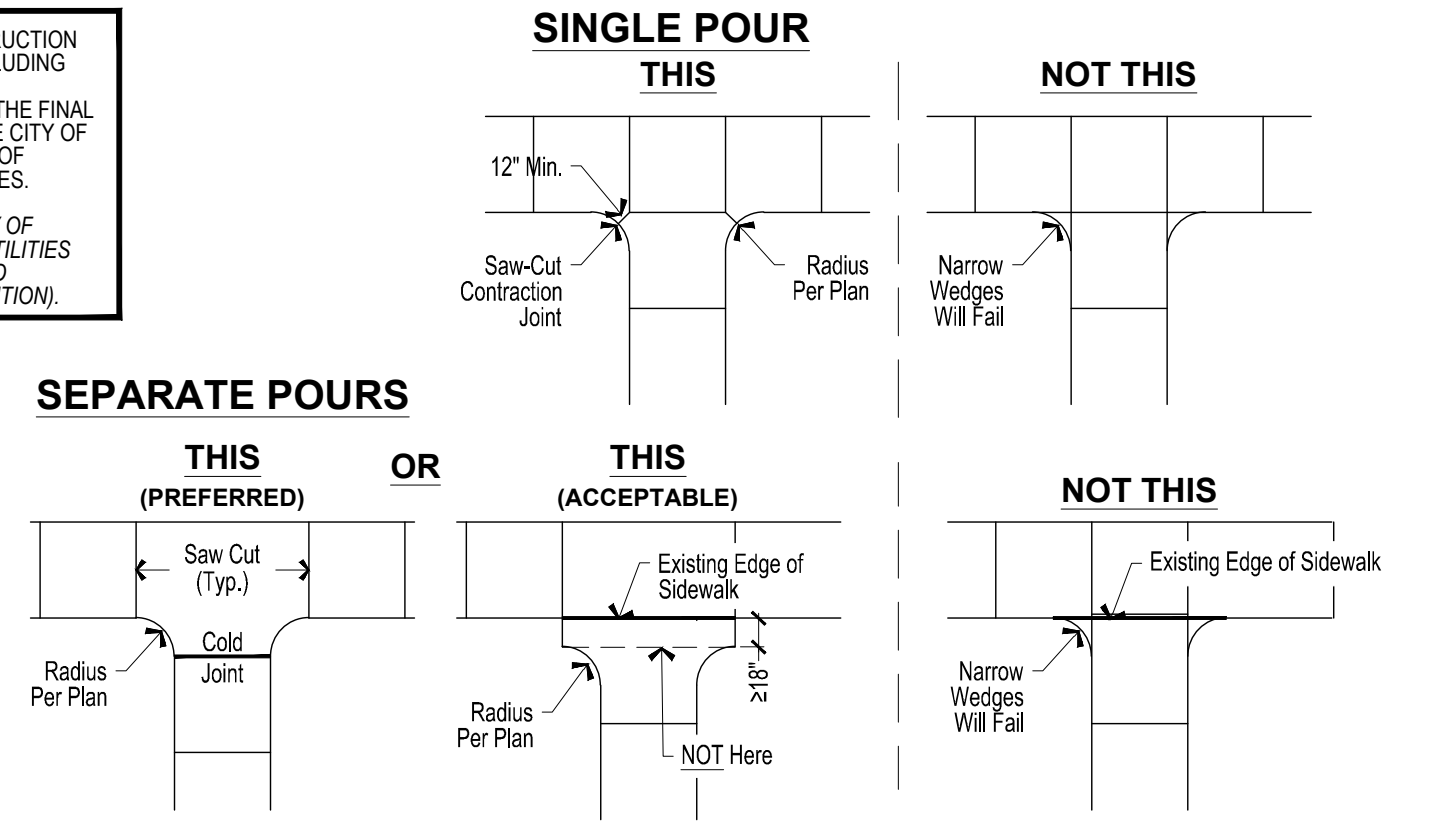
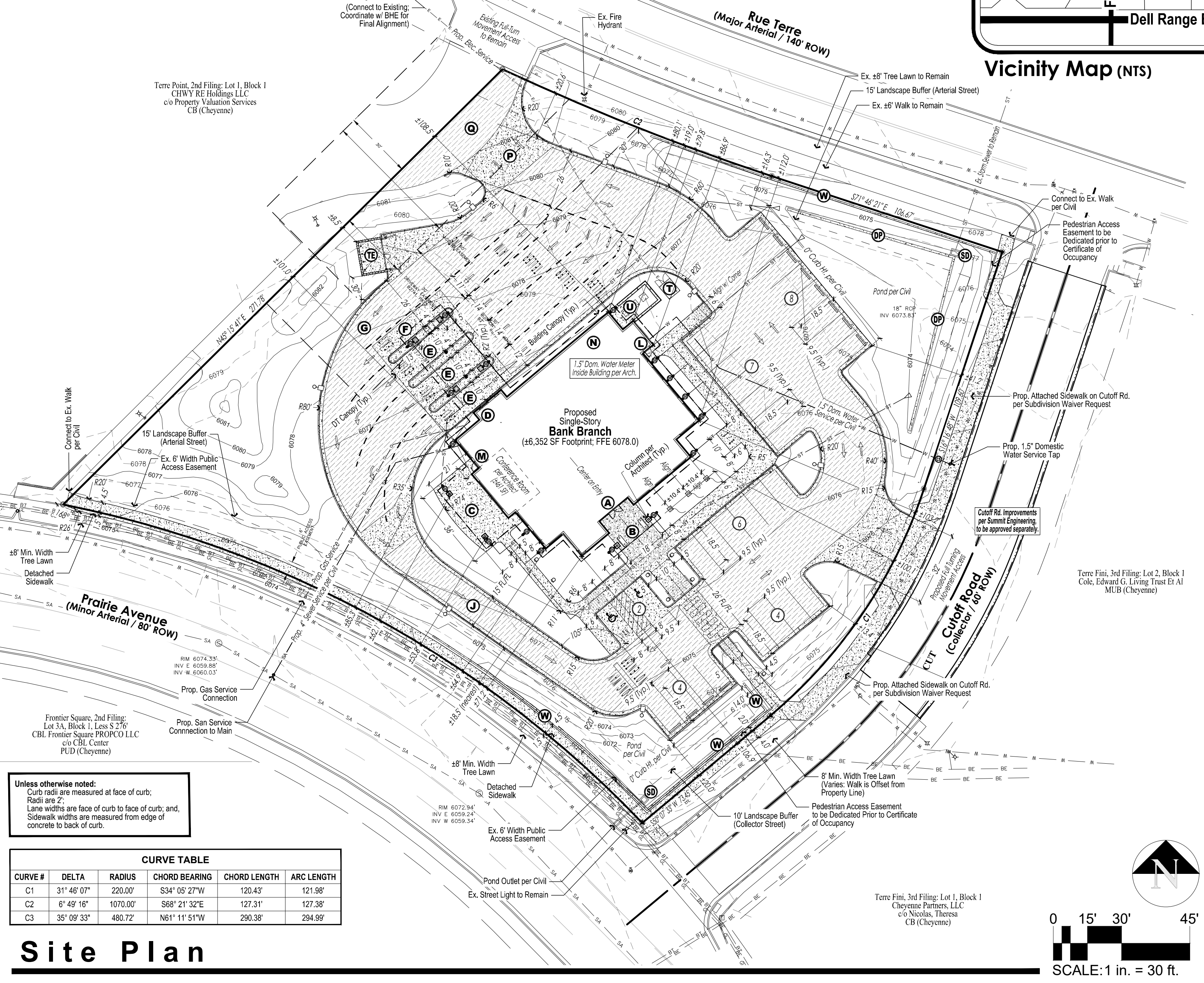


NOTE: ALL WORK INVOLVING CONSTRUCTION WITHIN THE CITY OF CHEYENNE, INCLUDING WATER AND SANITARY SEWERS AND APPURTENANCES, ARE SUBJECT TO THE FINAL APPROVAL AND ACCEPTANCE TO THE CITY OF CHEYENNE ENGINEER AND THE CITY OF CHEYENNE BOARD OF PUBLIC UTILITIES.

WORK SHALL BE GOVERNED BY: CITY OF CHEYENNE AND BOARD OF PUBLIC UTILITIES CONSTRUCTION SPECIFICATIONS AND STANDARD DRAWINGS (CURRENT EDITION).



- Notes**
- Base Information:** Boundary and base information, including plat information, is per Steel Surveying. Underground utilities as shown are not guaranteed to be accurate. Off-site base information was digitized from aerial photography.
 - Ownership & Maintenance:** Site improvements shown on this drawing are to be owned and maintained by the Owner or Assigns.
 - Architecture:** Building is per New Ground Architects, 2024. See Building Elevations for compliance with UDC Section 6.9.
 - Grading, Drainage, & Utilities:** Grading, drainage, and utility design provided by Summit Engineering, including Cutoff Road Construction Plans, may be adjusted during the construction permitting process following approval of this Site Plan without necessitating its revision. Refer to Building Mechanical, Electrical, and Plumbing drawings for details related to utility services entering buildings.
 - Vehicular Access:** A full turn movement vehicular access is proposed via Cutoff Road. A secondary access is proposed via sharing an existing access to Rue Terre. No right of way dedication is proposed.
 - Lighting:** Bollard and parking lot lights shown on the Site Plan are per architect (see Lighting Plan). Building-mounted lights are not shown. Coordinate placement with landscape installation.
 - Parking:** Parking is reserved for employees and patrons of Hilltop Bank. Parking spaces on site may be signed as "Reserved," "Employees Only," and/or similar designations at Owner discretion without amending this plan.
 - Signs:** Ground-mounted signs are not proposed at this time. Any signs, if proposed, will comply with UDC Section 6.5, to be permitted separately following receipt of COR.



Development Summary

Legal Description: Lot 2, Block 1, Terre Point 2nd Filing, 1820 Cutoff Road (to be verified)

Property Address: True Land & Realty, LLC, 455 N. Poplar | Casper, WY 82601

Property Owner: True Land & Realty, LLC

Proposed Use: Retail Bank Branch with Drive-up Service

Existing Zoning: CB - Community Business (City of Cheyenne)

Land Use Plan Designation: Community Business

Lot Area: **±72,641 SF** (±1.67 Ac.)

Building Footprint Area: **±6,352 SF**

Floor Area Ratio: 0.09 FAR

Parking Summary

Parking requirements are based on a 6,352 SF building. The Conference Room (461 SF) may be used for training purposes and similar from time to time with a planned capacity of up to 25 attendees during business hours and is considered and Assembly use to determine parking requirements. The remaining ±5,891 SF is an Office use.

Required:	Assembly	461 SF @ 1 seat / 20 SF = ±25 seat capacity
	Office	1 Sp. / 5 seats x 25 seats = 5 Spaces
	Office	1 Sp. / 300 SF x 5,891 SF = 20 Spaces
		(+ Bike Parking @ 10% of Req'd)
Total Requirement:		25 Spaces
	Maximum Allowed @ 125% of Req'd =	31 Spaces
	Minimum Allowed @ 90% of Req'd =	23 Spaces
Provided:		31 Spaces
	(includes 2 ADA Spaces) + 4 Bike Parking Spaces	
	Note: Parking is not permitted along adjacent streets.	

Impervious Area Calculation

Maximum Impervious Area (85% of ±72,641 SF):	61,745 SF
Building Footprint:	±6,352 SF
Ex. Asphalt to Remain:	±1,066 SF
Prop. Concrete (On-Site walks, curbs, etc.):	±13,415 SF
Prop. Asphalt:	±22,195 SF
Total Impervious Area (On-Site):	±43,028 SF (59%)

Off-Site Pavement Estimates:
Prop. Concrete & Asphalt in ROW: Not Calculated (See Civil Plans)

Contractors: The above quantities may be adjusted with civil construction plans. Refer to approved civil construction plans for final quantities, including in public ROW.

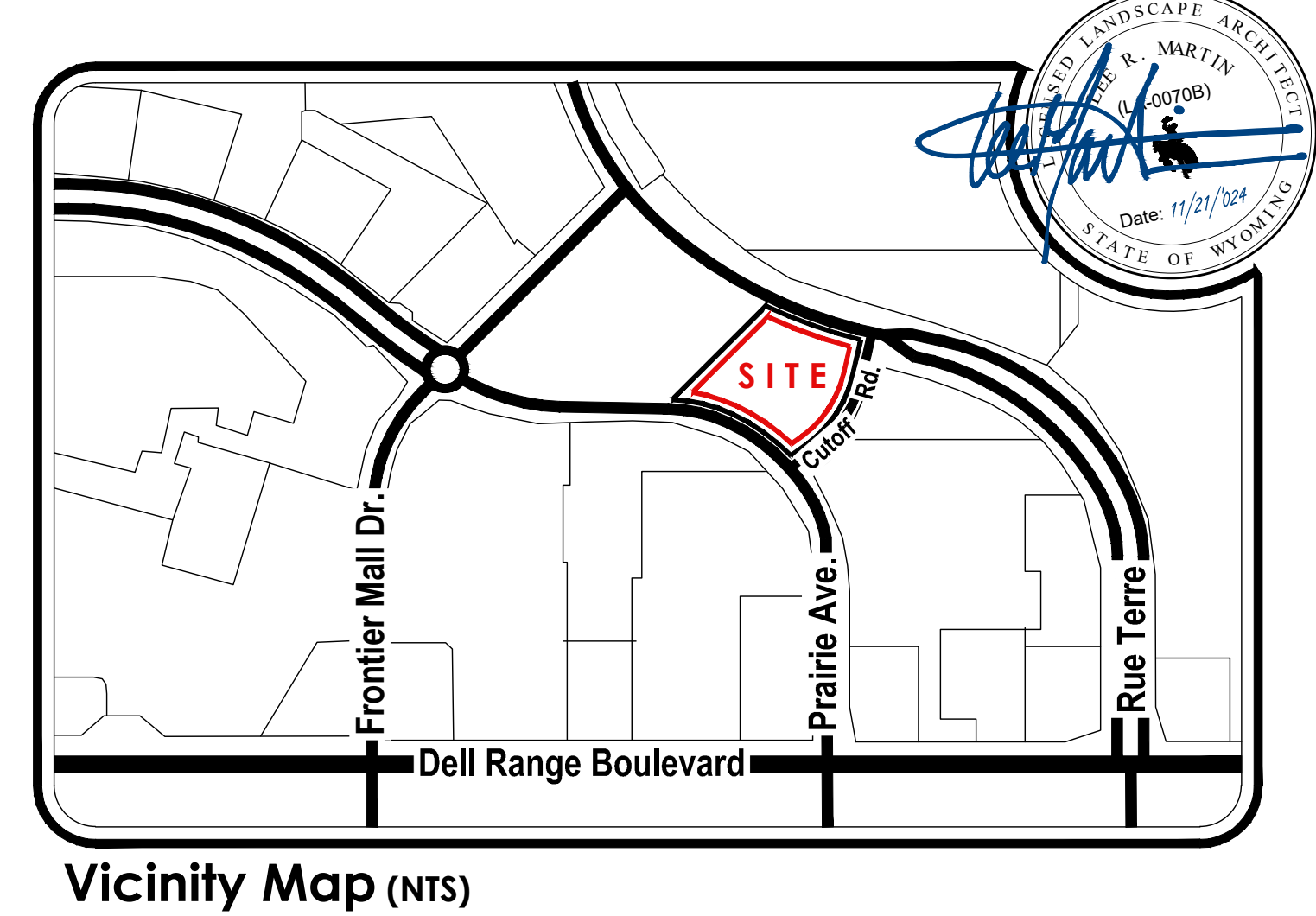
Civic Open Space Approach

Per UDC §6.9.4, Civic Open Space is required at 8% of the building footprint (±6,352 SF) or a minimum of 508 SF, as credited per Table 4-16. Outdoor seating and decorative paving are proposed southeast of the building in conjunction with the customer entry. Seating, such as two benches, and paving patterns are to be determined by the owner. Other amenities within the outdoor seating area may be installed without amending this Site Plan.

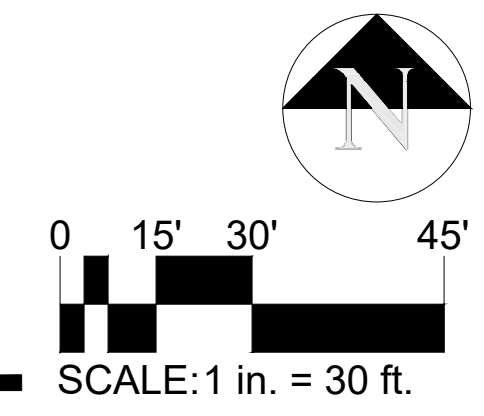
Gross Patio Area:	±432 SF
Multiplier (Table 4-16):	x 1.3
Credited Civic Open Space Area:	562 SF

Sheet Index

1	Site Plan
2	Landscape Plan

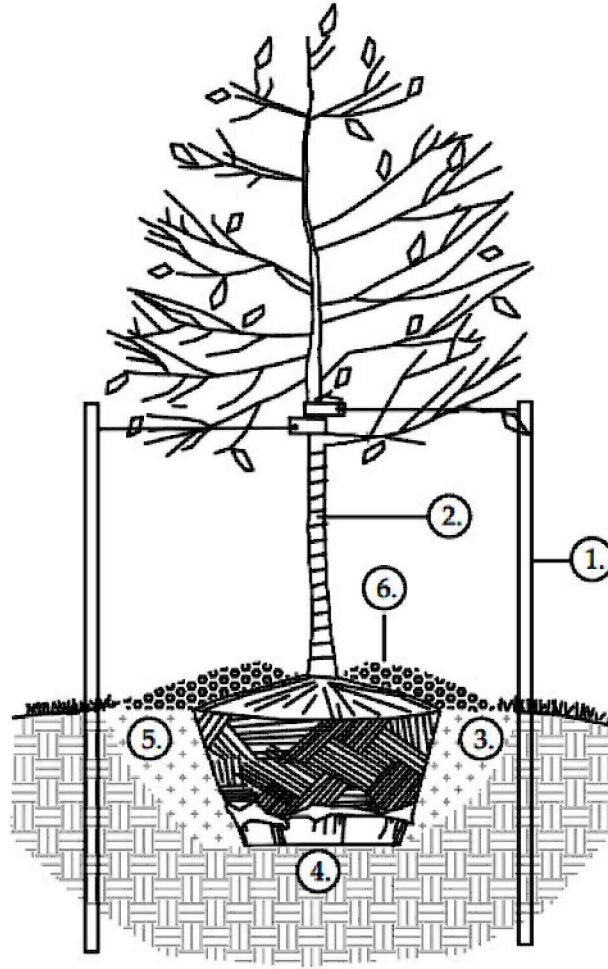


- Legend**
- Proposed Concrete Pavement per Civil Plans
 - Proposed Decorative Pavement per Note 9
 - Proposed Asphalt Pavement per Civil Plans
 - ADA Ramp per Civil plans
 - Bike Rack per Detail
 - Proposed 4" Sanitary Sewer Service Line per Civil
 - Proposed 1.5" Domestic Water Service Line per Civil
 - Proposed Roof Drain per Civil
 - Proposed Elec. Service per BHE / Electrical
 - Parking Lot Light Fixture (See Lighting Plan)
 - Bollard Light per Architect
 - Downspout per Architect
 - Curb Stop per Civil
 - Customer Entry
 - Covered Entry Patio (see "Open Space Approach")
 - Private Covered Patio per Owner
 - Night Drop / Teller Window
 - Drive-Up Banking Lane
 - ATM Lane
 - Passing Lane
 - Decorative Mounding w/ Monument Sign per Sep. Permit (TBD)
 - Exit Lane
 - Employee Entry
 - Patio Access Door
 - Ground-Mounted AC Units per Mechanical (36" Sq. shown)
 - Prop. Connection to Ex. Driveway
 - Conc. Drain Pan per Civil
 - Storm Drain per Civil
 - Ex. Pavement to Remain (see Civil)
 - Transformer (shown @ 6' x 7' - size TBD per MEP / BHE)
 - Trash Enclosure per Detail
 - Utility Corral / AC Condensers per Arch., Screen Wall per Arch.
 - Retaining Wall per Civil



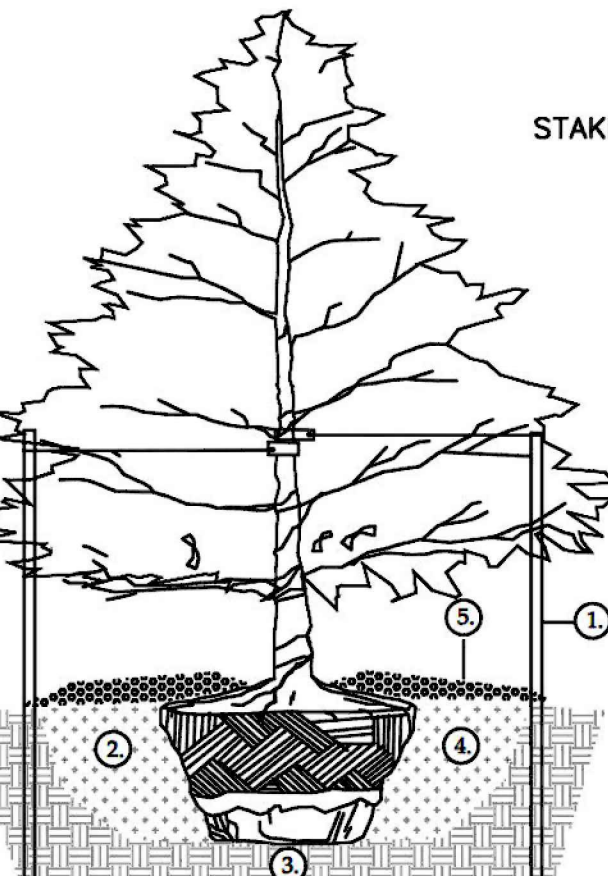
24400-HilltopBank-SitePlan-Rev3.dwg, 11/21/2024, 12:27 PM, LRM
 THIS DOCUMENT IS AN INSTRUMENT OF PROFESSIONAL SERVICE PREPARED FOR THE PROJECT PALMA LAND PLANNING, LLC. IT SHALL BE HELD HARMLESS AND THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

PALMA Land Planning
HILLTOP BANK
 Proposed Hilltop Bank Branch
 SITE PLAN APPLICATION (PUDC-24-187)
 Terre Point, 2nd Filing, Lot 2, Block 1, City of Cheyenne, WY
 Summit Engineering, LLC
 Attn: Jara Hordan, P.E.
 307-427-5619 | jara@summitengineering.com
 11/21/2024
 1 of 2



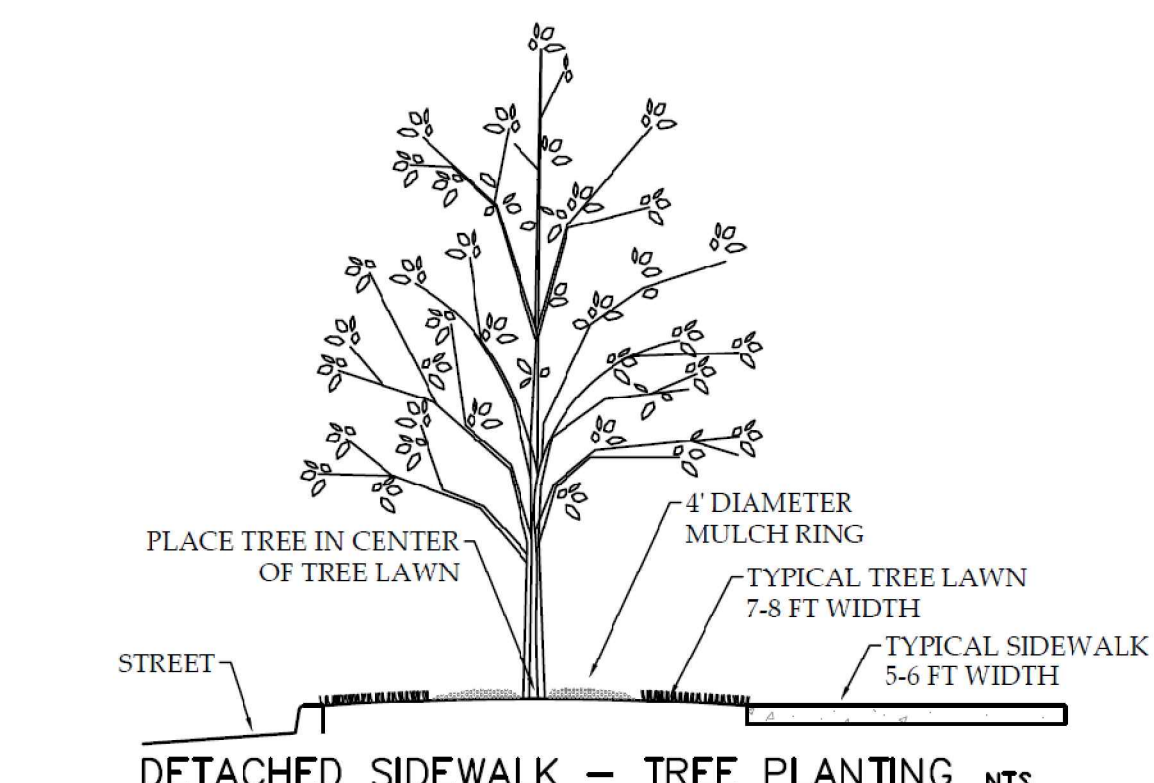
- TO PROTECT FROM WINDY CONDITIONS, STAKE TREE USING 2 EACH, 2" DIAMETER WOODEN POSTS WITH NYLON WEBBING OR WIRE AND NYLON STRAPS. ALLOW FOR SOME MOVEMENT OF THE STEM. SET POSTS VERTICALLY PLUMB JUST OUTSIDE THE PLANTING HOLE. PROMPTLY REMOVE ALL STAKING MATERIAL AFTER TREE HAS ROOTED AND CAN STAND ON ITS OWN.
- WRAP TREES TO FIRST BRANCH IN THE FALL. IF PLANTED IN SPRING, DO NOT WRAP.
- DIG PLANTING HOLE AT LEAST 2.5 TIMES THE WIDTH OF THE ROOT BALL. LOCATE THE BOTTOM OF THE ROOT FLARE 0"-2" ABOVE LOWEST ADJACENT GRADE (DEPENDENT ON SOIL TYPE). REMOVE THE ENTIRE WIRE BASKET, ALL TWINE AND THE TOP TWO-THIRDS OF THE BURLAP. CUT ALL CIRCLING ROOTS TO ELIMINATE GIRDLING AND TO ENCOURAGE ROOTING INTO ADJACENT SOIL.
- FIND THE ROOT FLARE. IF NOT VISIBLE REMOVE SOIL FROM THE TOP OF THE ROOT BALL. LOCATE THE BOTTOM OF THE ROOT FLARE 0"-2" ABOVE LOWEST ADJACENT GRADE (DEPENDENT ON SOIL TYPE). REMOVE THE ENTIRE WIRE BASKET, ALL TWINE AND THE TOP TWO-THIRDS OF THE BURLAP. CUT ALL CIRCLING ROOTS TO ELIMINATE GIRDLING AND TO ENCOURAGE ROOTING INTO ADJACENT SOIL.
- BACKFILL AROUND THE ROOT BALL AND STRAIGHTEN UP THE TREE, DO NOT AMEND THE SOIL. WATER THE ROOT BALL AND BACKFILL SOIL AND GENTLY COMPRESS THE SOIL AROUND THE ROOT BALL. DO NOT PLACE SOIL ON TOP OF THE ROOT BALL.
- PROVIDE WOOD MULCH (3" DEPTH), MIN. 48" DIA. MULCH RING IN TURF AND NATIVE GRASS AREAS. ROCK MULCH IS ALLOWED IN LANDSCAPED BEDS. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.

Deciduous Tree Planting Detail
(City of Cheyenne) NTS



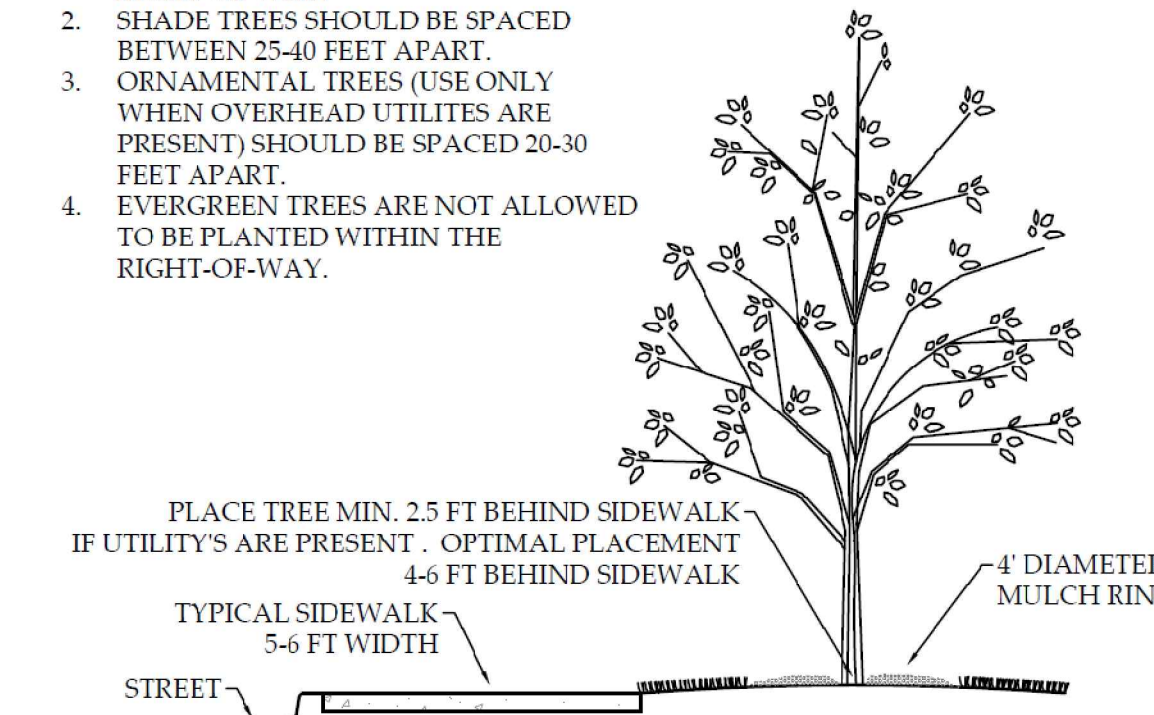
- TO PROTECT FROM WINDY CONDITIONS, STAKE TREE USING 3 EACH, 2" DIAMETER WOODEN POSTS WITH NYLON WEBBING OR WIRE AND NYLON STRAPS. ALLOW FOR SOME MOVEMENT OF THE STEM. SET POSTS VERTICALLY PLUMB JUST OUTSIDE THE PLANTING HOLE. PROMPTLY REMOVE ALL STAKING MATERIAL AFTER TREE HAS ROOTED AND CAN STAND ON ITS OWN.
- DIG PLANTING HOLE AT LEAST 2.5 TIMES THE WIDTH OF THE ROOT BALL. LOCATE THE BOTTOM OF THE ROOT FLARE 0"-2" ABOVE LOWEST ADJACENT GRADE (DEPENDENT ON SOIL TYPE). REMOVE THE ENTIRE WIRE BASKET, ALL TWINE AND THE TOP TWO-THIRDS OF THE BURLAP. CUT ALL CIRCLING ROOTS TO ELIMINATE GIRDLING AND TO ENCOURAGE ROOTING INTO ADJACENT SOIL.
- FIND THE ROOT FLARE. IF NOT VISIBLE REMOVE SOIL FROM THE TOP OF THE ROOT BALL. LOCATE THE BOTTOM OF THE ROOT FLARE 0"-2" ABOVE LOWEST ADJACENT GRADE (DEPENDENT ON SOIL TYPE). REMOVE THE ENTIRE WIRE BASKET, ALL TWINE AND THE TOP TWO-THIRDS OF THE BURLAP. CUT ALL CIRCLING ROOTS TO ELIMINATE GIRDLING AND TO ENCOURAGE ROOTING INTO ADJACENT SOIL.
- BACKFILL AROUND THE ROOT BALL AND STRAIGHTEN UP THE TREE, DO NOT AMEND THE SOIL. WATER THE ROOT BALL AND BACKFILL SOIL AND GENTLY COMPRESS THE SOIL AROUND THE ROOT BALL. DO NOT PLACE SOIL ON TOP OF THE ROOT BALL.
- PROVIDE WOOD MULCH (3" DEPTH), MIN. 48" DIA. MULCH RING IN TURF AND NATIVE GRASS AREAS. ROCK MULCH IS ALLOWED IN LANDSCAPED BEDS. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.

Evergreen Tree Planting Detail
(City of Cheyenne) NTS



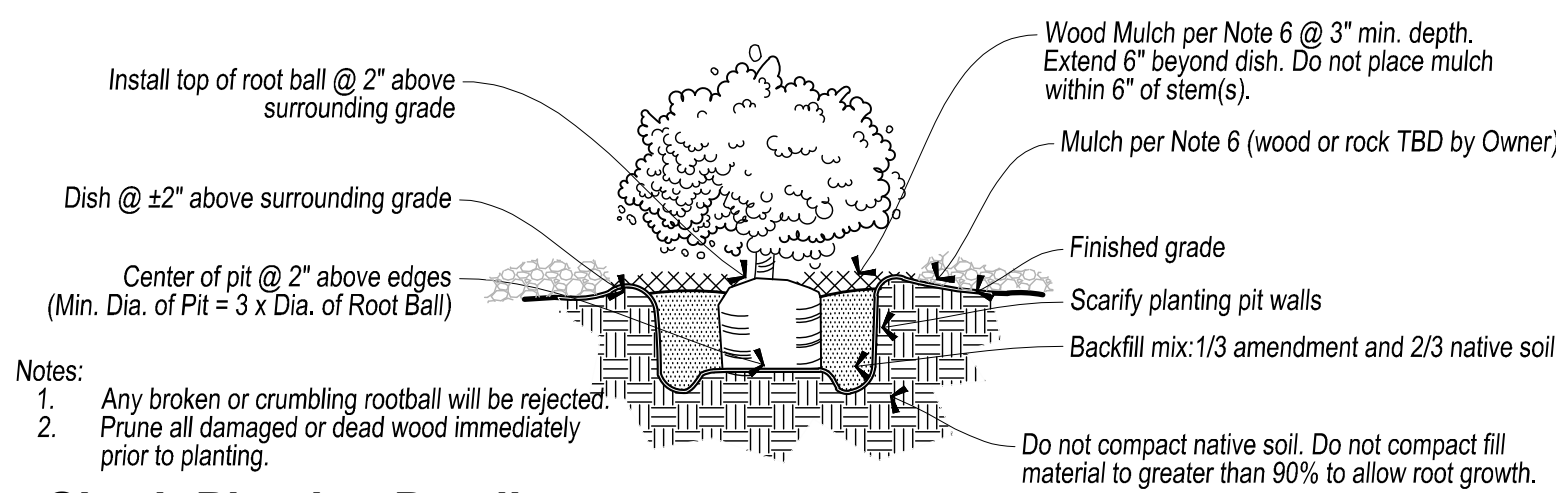
DETACHED SIDEWALK - TREE PLANTING NTS

- A PERMIT (FREE OF CHARGE) FROM THE CHEYENNE URBAN FORESTRY DIVISION (637-6428) IS REQUIRED PRIOR TO PLANTING IN THE PUBLIC RIGHT-OF-WAY.
- SHADE TREES SHOULD BE SPACED BETWEEN 25-40 FEET APART.
- ORNAMENTAL TREES (USE ONLY WHEN OVERHEAD UTILITIES ARE PRESENT) SHOULD BE SPACED 20-30 FEET APART.
- EVERGREEN TREES ARE NOT ALLOWED TO BE PLANTED WITHIN THE RIGHT-OF-WAY.



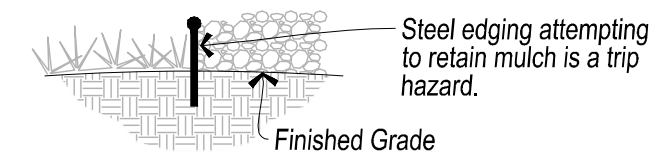
ATTACHED SIDEWALK - TREE PLANTING NTS

Street Tree Planting Details (Attached & Detached Walk Scenarios)
(City of Cheyenne) NTS

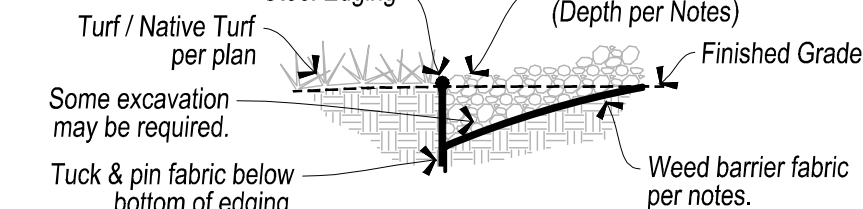


Shrub Planting Detail

NOT THIS



THIS



Steel Edging Installation Detail
NTS

Required Pervious Area
Maximum Coverage: 85% (CB Zoning)
Minimum Pervious Area: 15% of Lot Area
Lot Area: 472,641 SF
0.15 x 472,641 SF = 70,896 SF

Provided Pervious Area Calculation:
Prop. Native Seed: ±22,782 SF
Prop. Irrigated Turf: ±640 SF
Prop. Shrub Beds: ±5,003 SF
Site Total: ±29,425 SF
(41% of 72,641 SF)

Living Coverage @ Maturity:
75% of Pervious Area: 0.75 x 29,425 SF = 22,071 SF
Required: 22,971 SF

Provided:
Prop. Native Seed: ±22,782 SF
Prop. Irrigated Turf: 640 SF
Prop. Dec. Shrubs: (not calculated)
Prop. Evg. Shrubs: ---
Prop. Per. 1.0m. Grasses: ---
Total Living Coverage @ Maturity: > 75%
(Native seed + Irrigated Turf exceeds requirement)

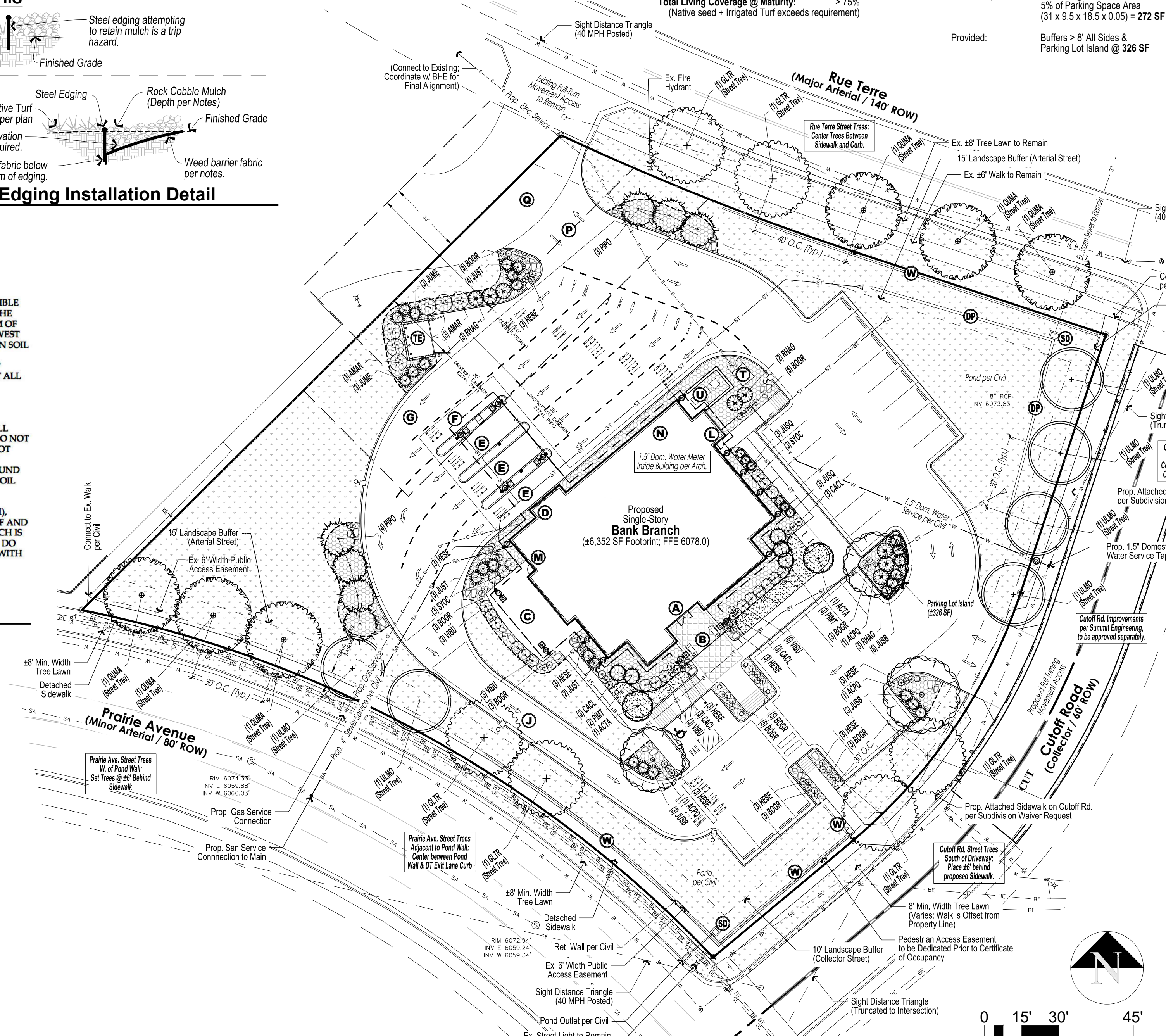
Landscape Calculations per UDC §6.3.4

Required Tree Points Calculation
Site Area x 0.15 / 500 (CB Zoning) = 17.79 pts
Proposed:
3 Can. Trees > 30' Ht. @ 1.5 pts ea. = 4.50 pts
7 Evg. Trees > 30' Ht. @ 1.5 pts ea. = 10.50 pts
2 Orn. Trees < 30' Ht. @ 1.0 pts ea. = 2.00 pts
5 Evg. Trees < 30' Ht. @ 1.0 pts ea. = 5.00 pts
Credited = 22.00 pts

Required Non-Tree Points Calculation
Site Area x 0.15 / 500 (CB Zoning) = 17.79 pts
Proposed:
47 Dec. Shrubs @ 0.25 pts ea. = 11.75 pts
33 Evg. Shrubs @ 0.25 pts ea. = 8.25 pts
64 Orn. Grasses @ 0.15 pts ea. = 9.60 pts
54 Evg. Naive Turf @ 0.50 pts / 500 SF = 23.58 pts
Credited = \$3.62 pts

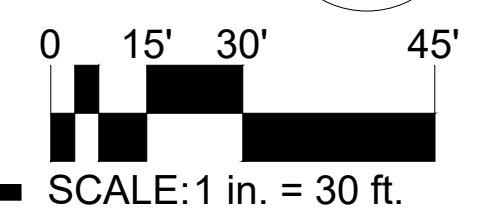
Parking Internal Landscape Area Calculations per Table 6-5

Required:
31 - 100 Spaces: 8' Buffer @ Front & Side, and 5% of Parking Space Area (31 x 9.5 x 15.5 x 0.05) = 272 SF
Provided:
Buffers @ 8' All Sides & Parking Lot Island @ 326 SF



Legend

- Proposed Mulch per Landscape Note 6
- Proposed Native Seed Mix per Landscape Note 2
- Proposed Irrigated Turf per Landscape Note 2
- Proposed Decorative Pavement per Site Plan Note 9
- ADA Ramp per Civil plans
- Bike Rack per Detail
- Parking Block per Owner
- Proposed 4" Sanitary Sewer Service Line per Civil
- Proposed 1.5" Domestic Water Service Line per Civil
- Proposed Roof Drain per Civil
- Proposed Elec. Service per BHE / Electrical
- Parking Lot Light Fixture (See Lighting Plan)
- Bollard Light per Architect
- 1-Ton, 3/4-Ton, and 1/2-Ton Boulders (See Landscape Note 19)
- Flagpole per Architect
- Downspout per Architect
- Curb Stop per Civil
- A Customer Entry
- B Covered Entry Patio (see "Open Space Approach")
- C Private Covered Patio per Owner
- D Night Drop / Teller Window
- E Drive-Up Banking Lane
- F ATM Lane
- G Passing Lane
- H Decorative Mounding w/ Monument Sign per Sep. Permit (TBD)
- J Exit Lane
- L Employee Entry
- M Patio Access Door
- N Ground-Mounted AC Units per Mechanical (36" Sq. ft)
- P Prop. Connection to Ex. Driveway
- PP Conc. Drain Pan per Civil
- ST Storm Drain per Civil
- Ex. Pavement to Remain (see Civil)
- T Transformer (shown @ 6' x 7' - size TBD per MEP / BHE)
- TE Trash Enclosure per Detail
- U Utility Corral / AC Condensers per Arch. / Screen Wall per Arch.
- W Retaining Wall per Civil

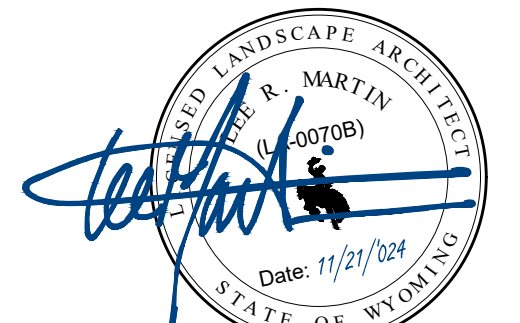


Landscape Plan

LANDSCAPE NOTES

- ALL SHRUB BEDS SHALL RECEIVE 1" - 2" DIAMETER (MINIMUM) LOCALLY SOURCED GRAVEL MULCH (ASSORTED COLORS, ANGULAR OR ROUNDED) OR APPROVED EQUAL TO A MINIMUM DEPTH OF 2" AT POST SETTING. ABOVE TYPICAL 3" (2") OR APPROVED EQUAL WEED BARRIER FILTER FABRIC (NOT IMPERMEABLE PLASTIC SHEETING). DO NOT COMPACT MULCH. WATER IN. GRAVEL SIZE MAY BE INCREASED, AND / OR SHREDED WESTERN CEDAR ("GORILLA HAIR") MAY BE SUBSTITUTED, AT OWNER'S SOLE DISCRETION. REGARDLESS OF MULCH SELECTED, PLACE GORILLA HAIR WITHIN 6" OF DISH OF TREES, SHRUBS, ORNAMENTAL GRASSES, AND PERENNIALS. PROVIDE A SAMPLE (PHOTOGRAPH) OF ALL MULCH TYPES PROPOSED FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO PURCHASE.
- SEPARATE ALL AREAS RECEIVING MULCH FROM NATIVE TURF AREAS WITH 6" ROLLTOP STEEL EDGING OR APPROVED EQUAL. SEE DETAIL THIS SHEET. PROVIDE A SAMPLE (PHOTOGRAPH) FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO PURCHASE. OWNER OPERATOR SHALL INSPECT AND MAINTAIN EDGING SEASONALLY TO MITIGATE VERTICAL MOVEMENT AND ASSOCIATED TRIP HAZARD.
- LOCATE ALL UTILITIES PRIOR TO PLANTING. INSTALL TREES SUCH THAT ROOT PITTS ARE OUTSIDE OF WATER AND SANITARY SEWER EASEMENTS. A MINIMUM OF 10' CLEAR OF WATER AND SEWER LINES, AND 4' CLEAR OF GAS AND STORM SEWER LINES. INSTALL SHRUBS SUCH THAT ROOT PITTS ARE 4' CLEAR OF WATER AND SANITARY SEWER LINES AND NOT DIRECTLY ABOVE STORM SEWER LINES. BUILDING FOUNDATION SEPARATION REQUIREMENTS:
IRRIGATION SPRAY HEADS & IRRIGATED TURF BED LINES: 10 FEET MINIMUM
IRRIGATION MAIN LINES: 5 FEET MINIMUM
WOODY & HERBACEOUS PLANT STEMS & DRIP EMITTERS: 3 FEET MINIMUM
- NOTIFY THE LANDSCAPE ARCHITECT OF DISCREPANCIES, UTILITY AND FOUNDATION SEPARATION REQUIREMENTS SHALL NOT BE USED AS A MEANS OF AVOIDING THE INSTALLATION OF PLANT MATERIALS SHOWN ON THIS PLAN. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION NEITHER CONFLICT WITH, NOR PRECLUDE INSTALLATION AND MAINTENANCE OF, LANDSCAPE ELEMENTS SHOWN.
- THE LANDSCAPE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR ALL SOIL TESTING REQUIRED.
- THE SOIL IN ALL LANDSCAPE AREAS SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT INCHES (8") BELOW FINAL GRADE. AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO ACHIEVE A MINIMUM 3% ORGANIC MATERIAL AND MAXIMUM SALINITY LEVEL OF 1.0 MILLIGRAMS PER CENTIMETER IN THE TOP SIX INCHES (6") OF THE SOIL PROFILE (CHEYENNE UDC 6.3.7.b).
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL REMOVED FOR CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING LANDSCAPING.

- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. QUANTITIES AND DESIGN CONCEPT SHALL REMAIN CONSISTENT WITH APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED ON THIS PLAN SHALL PREVAIL AND MUST BE PRE-APPROVED BY THE CITY'S DEVELOPMENT OFFICE.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY. TO SECURE A CONDITION OF OCCUPANCY WITHOUT LANDSCAPE AND IRRIGATION INSTALLED, REMAINING LANDSCAPE AND IRRIGATION SHALL BE SECURED WITH AN ACCEPTABLE FORM OF SURETY TO THE CITY OF CHEYENNE FOR 125% OF THE VALUE OF THE LANDSCAPE PRIOR TO CERTIFICATE OF OCCUPANCY.
- CONTRACTOR SHALL WARRANT LANDSCAPE MATERIALS FOR TWELVE (12) MONTHS FOLLOWING INSTALLATION. THE APPLICANT, SUCCESSORS, AND ASSIGNS SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR AND NORMAL MAINTENANCE OF ALL LANDSCAPE ELEMENTS SHOWN ON THIS PLAN.
- LANDSCAPE SHALL BE MAINTAINED FREE OF DISEASE, PESTS, WEEDS, AND LITTER. PLANT MATERIALS EXHIBITING EVIDENCE OF INSECTS, DISEASE, AND OTHER DAMAGE SHALL BE APPROPRIATELY TREATED. DEAD TREES, SHRUBS AND PERENNIAL PLANTS SHALL BE REPLACED WITHIN 30 DAYS IF POSSIBLE, OR BY JUNE 1 OF THE FOLLOWING GROWING SEASON. LANDSCAPE ELEMENTS SUCH AS FENCES AND WALLS, IF PROPOSED, SHALL BE REPAIRED AND/OR REPLACED TO REMAIN STRUCTURALLY SOUND. MULCH AND WEED BARRIER FABRIC SHALL BE REPLACED AS NECESSARY AS A STANDARD MAINTENANCE PRACTICE. INSPECT SHRUB BED EDGING ANNUALLY. ELIMINATE ANY TRIP HAZARDS CREATED BY THE FREEZE-THAW CYCLE.
- LEAVE PLANT IDENTIFICATION TAGS ON PLANT MATERIAL, TO BE REMOVED BY CITY FOLLOWING INSPECTION.
- BOULDERS SHOWN ARE OPTIONAL AND MAY BE INSTALLED AT THE OWNER'S SOLE DISCRETION IN OR NEAR THE LOCATIONS ILLUSTRATED SCHEMATICALLY. IF INSTALLED, BOULDERS SHALL BE LOCALLY SOURCED, SANDSTONE, MOSS ROCK OR APPROVED EQUAL. SUBMIT REPRESENTATIVE PHOTOGRAPH FOR OWNER / LANDSCAPE ARCHITECT APPROVAL PRIOR TO ORDER PLACEMENT. FACE MOST DECORATIVE SIDE AWAY FROM THE BUILDING AND TOWARD SIDEWALKS / VEHICULAR CIRCULATION. ORIENT SANDSTONE BANDS HORIZONTALLY. DO NOT PLACE BOULDERS WITHIN 24" (TWENTY-FOUR INCHES) OF THE BACK OF CURB OR WITHIN SIGHT DISTANCE TRIANGLES. BURY APPROXIMATELY 20% OF EACH BOULDER ABOVE WEED BARRIER FABRIC. ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING WITH PLACEMENT. DO NOT CREATE BIRD BATHS, DAMS, ETC. FINAL BOULDER ARRANGEMENT, PLACEMENT, AND ORIENTATION PROPOSED BY CONTRACTOR SUBJECT TO OWNER APPROVAL.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN AS-BUILT DRAWING AT THE SCALE SHOWN ON THIS SHEET OR GREATER ILLUSTRATING PLANT MATERIAL AND IRRIGATION SYSTEM AS INSTALLED, INCLUDING SLEEVES RELATIVE TO THE SITE PLAN WITHIN THIRTY (30) DAYS FOLLOWING CITY INSPECTION. AUTOCAD FILES (.DWG) AS APPROVED ARE AVAILABLE UPON REQUEST TO THE LANDSCAPE ARCHITECT.



HILLTOP BANK
Proposed Hilltop Bank Branch
SITE PLAN APPLICATION (PUDC-24-187)
Terre Point, 2nd Flng; Lot 2, Block 1, City of Cheyenne, WY

PALMA
Land Planning

Summit Engineering, LLC
Attn: Dawn Hordson, P.E.
307-427-5619 | darc@summitengineering.com

Project No: 24003
Sheet Title: Landscape Plan
Date: 11/21/2024
Scale: 2 of 2

PRELIMINARY NOT FOR CONSTRUCTION

DO NOT REPRODUCE
This document contains confidential information, and is an instrument of service and property of the architect. It shall not be used on other projects or for the extension of this project without the Architect's written approval.

**HILLTOP BANK
BRICK & BOND REAL ESTATE DEVELOPMENT**
Cheyenne
Lot 2 BLK 1 Terre Pointe
Cheyenne, Wyoming

Revisions:

#	Description	Date

Issue Date: 09/24/24
Designer: Designer
Drawn By: Author
Check By: Checker
Project No: 29796-0000
Package:

Title: ELEVATION MATERIALS

Sheet No.
A102

TOTALS

STONE	ELDORADO STONE	3,981.02 SF
FIBER CEMENT BOARD	NICHHA VINTAGEWOOD CEDAR	1,033.54 SF
STRUCTURAL WOOD		97.17 SF
SOLID DOOR		23.89 SF

